



MULTI-FAMILY CONVERSION
FOR
POTTER AVENUE REALTY LLC

GENERAL NOTES (See also Project Specifications):

- The General Conditions state that the Contract Documents are complimentary.
- Provide the services of a Massachusetts Registered Surveyor to layout structure on site and establish existing elevations. Elevation of finished floor shall be established by Architect with elevation information provided by Surveyor.
- The General Contractor is responsible for all the work.
 - Build and install parts of the Work level, plumb, square and in correct position.
 - Make joints tight and neat. If such is impossible, apply moldings, sealant or other joint treatment as directed by Architect.
 - Under potentially damp conditions, provide galvanic insulation between different metals which are not adjacent on the galvanic scale.
 - Apply protective finish to parts of the Work before concealing them. For example, paint door tops, bottoms, glazing stops, glazing rebates, and hardware cutouts before hanging doors, and paint corrodible mounting plates before installing parts over them.
- Where accessories are required in order to install parts of the Work in usable form and to make the Work perform properly, provide such accessories. If special tools are required to maintain, adjust and repair products, provide them.
- Follow manufacturer's instructions for assembling, installing and adjusting products. Do not install products in a manner contrary to the manufacturer's instructions unless authorized in writing by the Architect.
- Adjust and operate all items of equipment, leaving them fully ready for use.
- The division of the Documents into Architectural, Structural, Electrical, Mechanical, Plumbing and Civil components is not intended as division of the Work by trade or otherwise.
 - Provide utility installations from lot line to house including underground electrical, water, telephone and CATV to comply with all local codes and requirements.
 - Concrete shall have compressive strength of 3000 psi @ 28 days for walls and 3500 psi @ slab work, and reinforcing rods & woven wire fabric (WWF) per drawings. Where noted, provide hard steel trowel finish on slabs. Dampproofing shall be factory manufactured semi-mastic consistency from asphalt and mineral fibers, and installed on all walls and footings. Piers for decks shall be concrete filled Sonotube forms.
- The General Contractor shall verify all dimensions at the site and shall notify the Architect of any discrepancies before proceeding with the Work or purchasing materials or equipment. Verify critical dimensions in the field before fabricating items which must fit adjoining construction.
- All details are typical unless otherwise noted and are not necessarily shown in the Documents at all locations where they occur.
- The Architectural Documents govern the location of all Electrical and Mechanical items installed as a part of the Work.
- Existing items which are not to be removed and are damaged or removed in the course of the Work shall be repaired and replaced in like new condition without cost.

- Existing surfaces disturbed during the course of the Work shall be reconstructed and finished to match adjoining surfaces. Patched areas shall be finished in such a manner as to provide visual and structural continuity across the entire affected surface.
- All voids created or surfaces disturbed resulting from cutting, removal or installation of elements as part of the Work shall be filled and finished to match adjoining construction.
- Except as provided in the Documents, no structural member or element shall be cut without written approval of the Architect. The General Contractor shall coordinate all cutting and shall advise the Architect of any potential conflicts with new or existing structure.
- Demolition work shall only be carried out once all temporary shoring and bracing is in place. Removal of all temporary supports shall be completed only after new work is secure and complete.
- All materials, equipment and workmanship shall conform to the requirements of authorities having jurisdiction of the Work.
- All materials and equipment shall comply with the Occupational Safety and Health Act, including all amendments.
- All materials and equipment shall conform to the requirements of authorities having jurisdiction regarding not using or installing asbestos or asbestos-containing materials.
- All paint used on all products and assemblies shall conform to A.N.S.I. Z66.1, Specifications for Paints and Coatings Accessible to Children to Minimize Dry Film Toxicity.
- GENERAL WORK TO BE PERFORMED AS PART OF THE GENERAL CONSTRUCTION:
 - Seal cracks and openings to make the exterior skin of the building tight to water and air entry.
 - Provide adequate blocking, bracing, nailers, fastenings and other supports to install parts of the work securely. Blocking, bracing, nailers, fastenings and other supports shall be of a type not subject to deterioration or weakening as the result of environmental conditions or aging.
 - Perform cutting and patching for all trades. Patch holes where ducts, conduit, pipes and other products pass through or are being removed from existing construction.
 - Provide chases, furred spaces, trenches, covers, pits, foundations and other construction required in conjunction with the Work. If such construction is not shown on the Drawings, coordinate with Architect for sizes and placement.
 - Provide and coordinate access doors and panels as required for access to equipment requiring adjustment, inspection, maintenance or other access and as required for access to spaces not otherwise accessible, such as attics and crawl spaces.
 - Check Drawings and manufacturers' literature for requirements for bases, pads, and other supporting structures. Remove supporting structures associated with removed equipment and patch remaining surfaces.
 - As part of one year warranty specified in the General Conditions, repair cracks and other damage which occur as a result of settlement and shrinkage during the first year after Substantial Completion.
- All work shall conform to the applicable sections of the Massachusetts State Building Code, Ninth Edition. For residential projects, particular attention shall be paid to Chapter 36 - One & Two Family Dwellings, especially Table 3606.2.3 "Fastener Schedule for Structural Members".

ABBREVIATIONS

AB	ANCHOR BOLT	JT	JOINT
AF.F.	ABOVE FINISH FLOOR	LAG	LAG BOLT
ACT	ACOUSTICAL TILE	LAM.	LAMINATE
ALUM	ALUMINUM	LAV.	LAVATORY
AND	AND/ZE	L	LENGTH
ANOD	ANODIZED	MFR	MANUFACTURER
AT	AT	MAS.	MASONRY
BT	BITUMINOUS	MAT.	MATERIAL
BLK	BLOCK	MAX	MAXIMUM
BLKG	BLOCKING	MECH.	MECHANICAL
BOTT	BOTTOM	MIN.	MINIMUM
B.O.W.	BOTTOM OF WALL	MTD.	MOUNTED
BR	BRAM	NO	NUMBER
BLDG	BUILDING	NOM.	NOMINAL
CPT	CARPET	N.I.C.	NOT IN CONTRACT
CSMT	CASEMENT	N.T.S.	NOT TO SCALE
CK	CAULKING	O.C.	ON CENTER
CLG	CEILING	OH	OVERHEAD
CLOS	CLOSET	OWNG.	OPENING
COL	COLUMN	PNT.	PAINT
CONC.	CONCRETE	PTD	PAINTED
CONJ	CONCRETE MASONRY UNIT	QU	QUARRY
CONSTR.	CONSTRUCTION	PAN.	PANEL
CONT.	CONTINUOUS	PL	PLATE
CJ	CONTROL /CONSTR. JOINT	PLAS.	PLASTER
CTSX	COUNTERSUNK	P.LAM.	PLASTIC LAMINATE
DET.	DETAIL	PLBG	PLUMBING
DIAM.	DIAMETER	PLYWD	PLYWOOD
DM	DOUBLEHUNG	PRES.	PRESSURE TREATED
DR	DOOR	Q.T.	QUARRY TILE
DRWR	DRAWER	REQD.	REQUIRED
DWG(S)	DRAWING(S)	REF.	REFRIGERATOR
DF	DRINKING FOUNTAIN	R	RISER
DW	DISHWASHER	RD	ROOF DRAIN
ELEC.	ELECTRICAL	RM.	ROOM
ELV.	ELEVATION	R.O.	ROUGH OPENING
EMER	EMERGENCY	SECT.	SECTION
EQ	EQUAL	SCHED.	SCHEDULE
EXST.	EXISTING	SPEC.	SPECIFICATIONS
EX	EXPANSION JOINT	ST.	STANDARD
EXP	EXPOSED	SHP	SHELFAPOLE
EXT.	EXTERIOR	STL.	STEEL
FIN	FINISHED	SUSP.	SUSPENDED
FLA	FIRE ALARM	THK	THICK
F.B.O.	FURNISHED BY OWNER	T&B	TOP&BOTTOM
FE	FIRE EXTINGUISHER	T&G	TONGUE&GROOVE
FL	FLOORING	T.O.F.	TOP OF FOUNDATION
FLOR	FLOORING	T.O.W.	TOP OF WALL
FT	FOOT	T	TREAD
FTG	FLOORING	TPV	TYPICAL
FND.	FOUNDATION	UNFIN.	UNFINISHED
FURR	FURRED	V.I.F.	VERIFY IN FIELD
G	GAS	VN	VINYL
GALV.	GALVANIZED	VCM	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR	VWC	VINYL WALL COVERING
GL	GLASS/GLAZING	WC	WATER CLOSET
GR	GRADING	W	WIDTH
GYP.BD.	GYP.SUM BOARD	W/W	WITHOUT
HDBD	HARDBOARD	W/W.M.	WELDED WIRE MESH
HWD	HARDWOOD	W	WOOD
HVAC	HEATING, VENTILATING, & AIR CONDITIONING		
HWR	HARDWARE		
HGT	HEIGHT		
H.M.	HOLLOW METAL		
INSUL	INSULATION		
INT.	INTERIOR		
JT	JOINT		

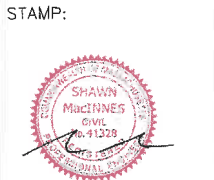
SYMBOLS

	NORTH ARROW
	SECTION INDICATOR - LETTER IN TOP HALF OF CIRCLE INDICATES THE SPECIFIC SECTION, THE NUMBER AND LETTER IN THE BOTTOM HALF INDICATES THE DWG. NO.
	NEW SPOT ELEVATION
	EXISTING SPOT ELEVATION
	LEVEL LINE OR WORKING POINT
	ROOM NUMBER
	DOOR NUMBER
	WINDOW TYPE
	WALL TYPE
	REVISION MARK
	CONCRETE - PLAN OR SECTION
	BRICK - PLANS OR SECTIONS
	CONCRETE BLOCK PLANS OR SEC.
	PLYWOOD
	STEEL LARGE SCALE
	ROUGH LUMBER
	FINISH LUMBER
	INSULATION - RIGID
	INSULATION - BATT
	EARTH
	COMPACT GRAVEL
	WELDED WIRE MESH
	PROPERTY LINE
	CENTER LINE

SCHEDULE OF DRAWINGS

T-1	TITLE SHEET
D-1	DEMOLITION FLOOR PLANS
E-1	BASEMENT ELECTRICAL PLAN
E-2	FIRST FLOOR ELECTRICAL PLAN
E-3	SECOND FLOOR ELECTRICAL PLAN
A-1	BASEMENT FLOOR PLAN
A-2	FIRST FLOOR PLAN/ROOM FINISH, WINDOW & DOOR SCHEDULES
A-3	SECOND FLOOR PLAN
A-4	ELEVATIONS
A-5	ELEVATIONS
A-6	BUILDING SECTIONS

DRAWINGS ARE REPRESENTATIONAL ONLY
DO NOT SCALE DRAWINGS



W.B. DANIELS
DESIGN
SOUTH YARMOUTH, MA. 02664
PH 508-760-2003 CELL 508-958-7132



MULTI-FAMILY CONVERSION
FOR
POTTER AVENUE REALTY LLC
11 POTTER AVENUE
HYANNIS, MA.

TITLE SHEET

DATE ISSUED:
10/18/2024

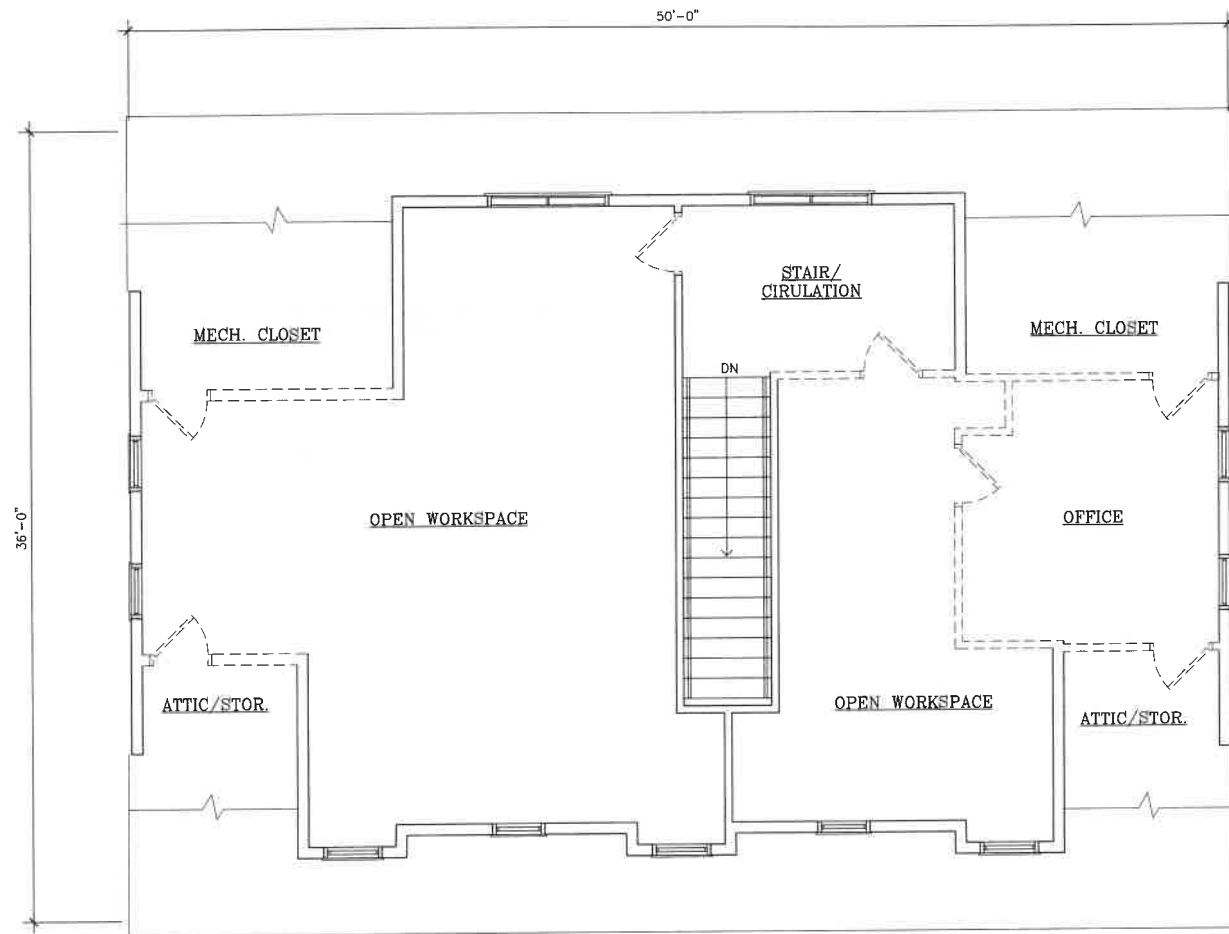
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PROJECT #:

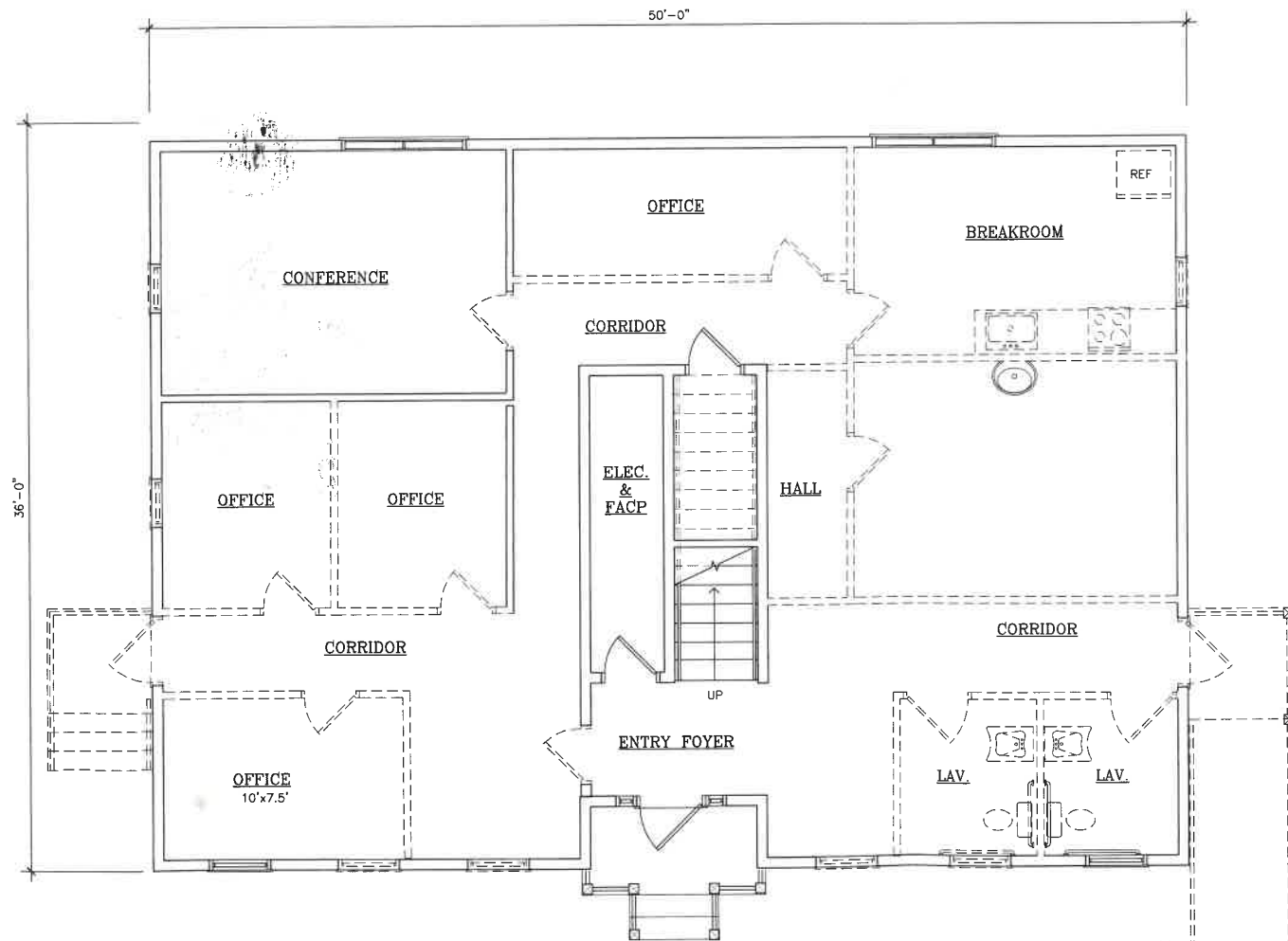
DRAWING NO.:

T1



----- INDICATES WALLS, DOORS, WINDOWS, ETC. TO BE REMOVED

○ **SECOND FLOOR DEMOLITION PLAN**
SCALE: 1/4" = 1'-0"



NOTE:
ALL DOORS & WINDOWS REMOVED TO BE
REUSED IN REMODEL

----- INDICATES WALLS, DOORS, WINDOWS, ETC. TO BE REMOVED

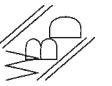
○ **FIRST FLOOR DEMOLITION PLAN**
SCALE: 1/4" = 1'-0"

STAMP:



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MULTI-FAMILY CONVERSION
FOR
POTTER AVENUE REALTY LLC
11 POTTER AVENUE
HYANNIS, MA.

TITLE:

DEMOLITION
FLOOR
PLANS

DATE ISSUED:
10/18/2024

REVISIONS:

DRAWN BY:

PROJECT #:

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D1

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MULTI-FAMILY CONVERSION
FOR
POTTER AVENUE REALTY LLC
11 POTTER AVENUE
HYANNIS, MA.

TITLE:
PROPOSED
FIRST FLOOR
PLAN
&
WINDOW, DOOR
& FINISH
SCHEDULES

DATE ISSUED:
10/18/2024

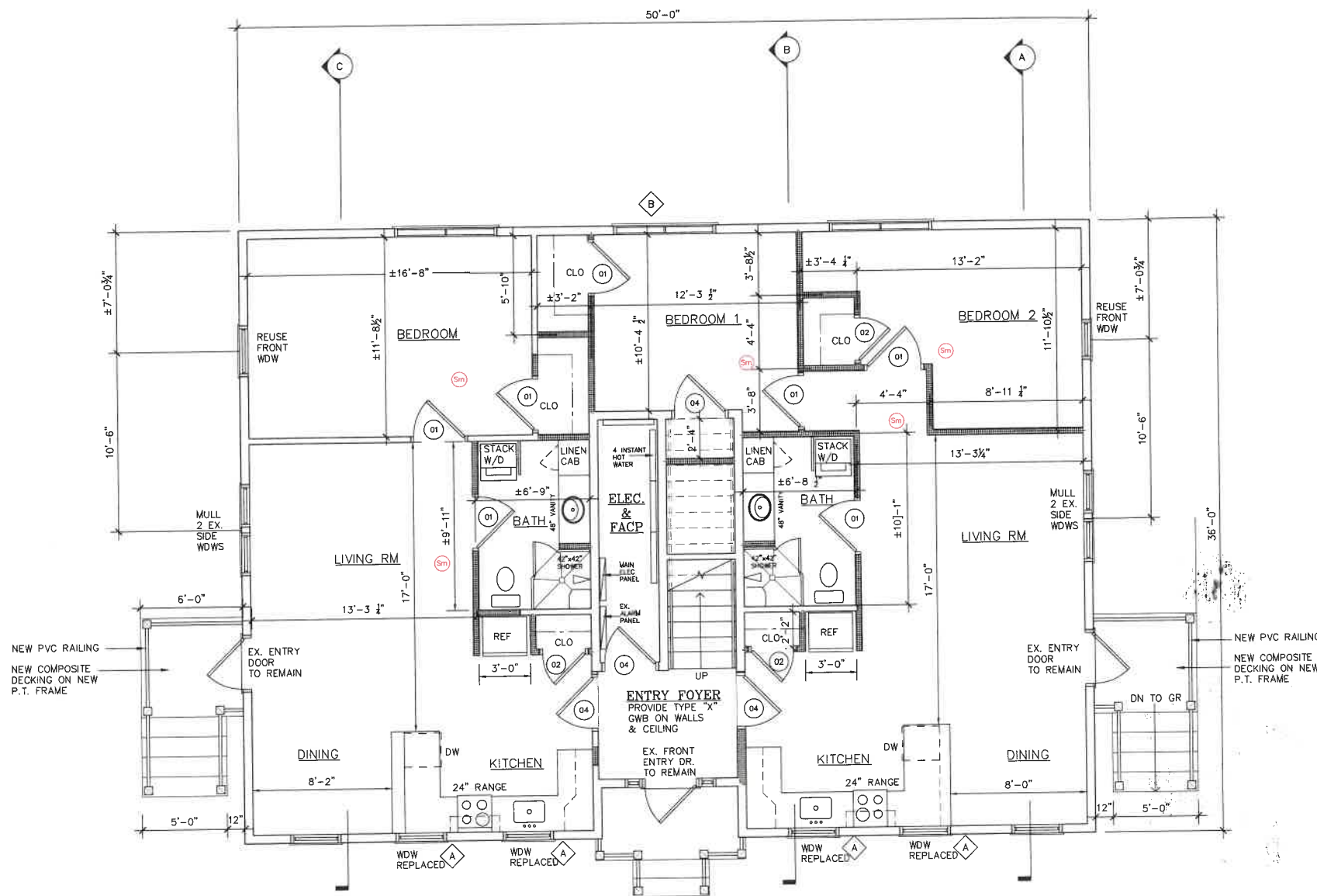
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A2



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

INDICATES NEW WALL CONSTRUCTION

SM INDICATES COMBINATION SMOKE & CARBON MONOXIDE DETECTORS
HD INDICATES HEAT DETECTORS

EXISTING STAIWELL AND LOBBY AREAS TO BE SHEATHED WITH FIRE RATED MATERIAL PER FIRE MARSHAL AND TOWN OFFICIALS RECOMANDATIONS. ALL EXIT DOORS TO HAVE PANIC HARDWARE.

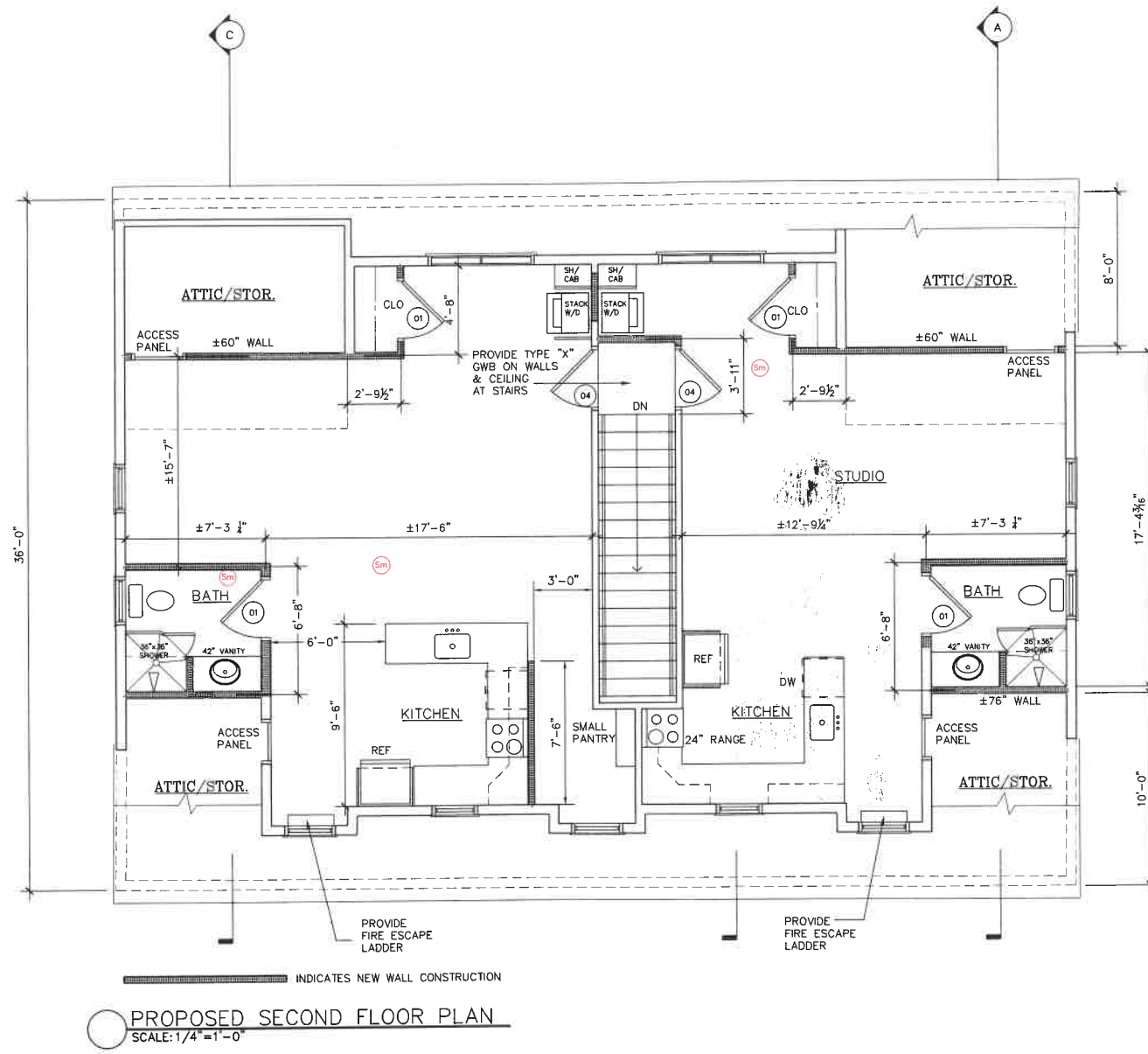
NUMBER	Manufacturer	Model	DOOR SIZE		NOTES
			WIDTH	HEIGHT	
01	REUSE EXISTING DOORS WHERE POSSIBLE	--	3'-0"	6'-8"	--
02	NEW DOOR TO MATCH EXISTING	--	2'-6"	6'-8"	--
03	SEE PLAN FOR SWING	--	3'-0"	6'-8"	--
04	NEW EXTERIOR DOOR THERM-A-TRU OR EQUAL	--	3'-0"	6'-8"	--

Symbol	Manufacturer	Model	TYPE	SIZE		NOTES
				WIDTH R.O.	HEIGHT R.O.	
A	ANDERSEN	3038	DBL HUNG	3'-0"	3'-8"	TEMPERED, SEE NOTE 7 BELOW
B	ANDERSEN	MATCH EXISTING	DBL HUNG	FIELD DETERMINE	FIELD DETERMINE	TEMPERED, SEE NOTE 7 BELOW

- NOTES:
- GRILLE PATTERNS ARE AS SHOWN V2. ALL WINDOWS ARE ANDERSEN, "A" SERIES -WHITE W/ INTERIORS
 - ALL WINDOWS TO HAVE (1) - STANDARD SASH LOCK & KEEPER WHITE FINISH
 - ALL WINDOWS TO HAVE (1)- CONTEMPORARY SASH LIFT WHITE FINISH
 - CONTRACTOR TO VERIFY ROUGH OPENING ON WINDOW SCHEDULE PRIOR TO ROUGH FRAMING.
 - PROVIDE "TRUSCREEN" INSECT SCREEN (FULL HEIGHT) @ EACH OPERABLE WINDOW.
 - GC TO VERIFY COUNTER HT WINDOW WILL FIT PRIOR TO ORDERING

ROOM	FLOOR	BASE	WALLS				CEILING	REMARKS
			NORTH	SOUTH	EAST	WEST		
LIVING RM.	EX. FLOORING PATCH & REPAIR AS NEEDED	5 1/2" SPEED BASE	GWB - PTD				GWB, TAPE & PTD	
BATH								
BEDROOMS								
KITCHEN								
CLOSET								

- USE EXISTING 5 1/2" SPEED BASE WHERE POSSIBLE ALL OTHER AREAS ADD NEW
- APPLY GYPSUM WALL BOARD ON 1x3 STRAPS @ 16" O.C. (ALL CEILINGS)
- PATCH ALL EXISTING WALLS DAMAGED DURING CONSTRUCTION
- PROVIDE WALL BLANKS WHERE DATA AND PHONE JACKS ARE REMOVED ON EXTERIOR WALLS
- WHERE NEW INTERIOR TRIM ON DOORS AND WINDOWS IS NEEDED MATCH TO EXISTING.



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MULTI-FAMILY CONVERSION
FOR
POTTER AVENUE REALTY LLC
11 POTTER AVENUE
HYANNIS, MA.

TITLE:
PROPOSED
SECOND FLOOR
PLAN

DATE ISSUED:
10/18/2024

REVISIONS:

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PROJECT #:

DRAWING NO.:

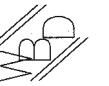
A3

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MULTI-FAMILY CONVERSION
FOR
POTTER AVENUE REALTY LLC
11 POTTER AVENUE
HYANNIS, MA.

TITLE:

PROPOSED
ELEVATIONS

DATE ISSUED:
10/18/2024

REVISIONS:

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PROJECT #:

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A4



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NEW WINDOW
w/ FLOWER BOX
TYP OF 4 ON FRONT



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



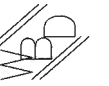
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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MULTI-FAMILY CONVERSION
FOR
POTTER AVENUE REALTY LLC
11 POTTER AVENUE
HYANNIS, MA.

TITLE:

PROPOSED
ELEVATIONS

DATE ISSUED:
10/18/2024

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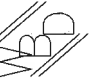
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MULTI-FAMILY CONVERSION
FOR
POTTER AVENUE REALTY LLC
11 POTTER AVENUE
HYANNIS, MA.

TITLE:

ELECTRICAL
BASEMENT
FLOOR PLAN

DATE ISSUED:
10/18/2024

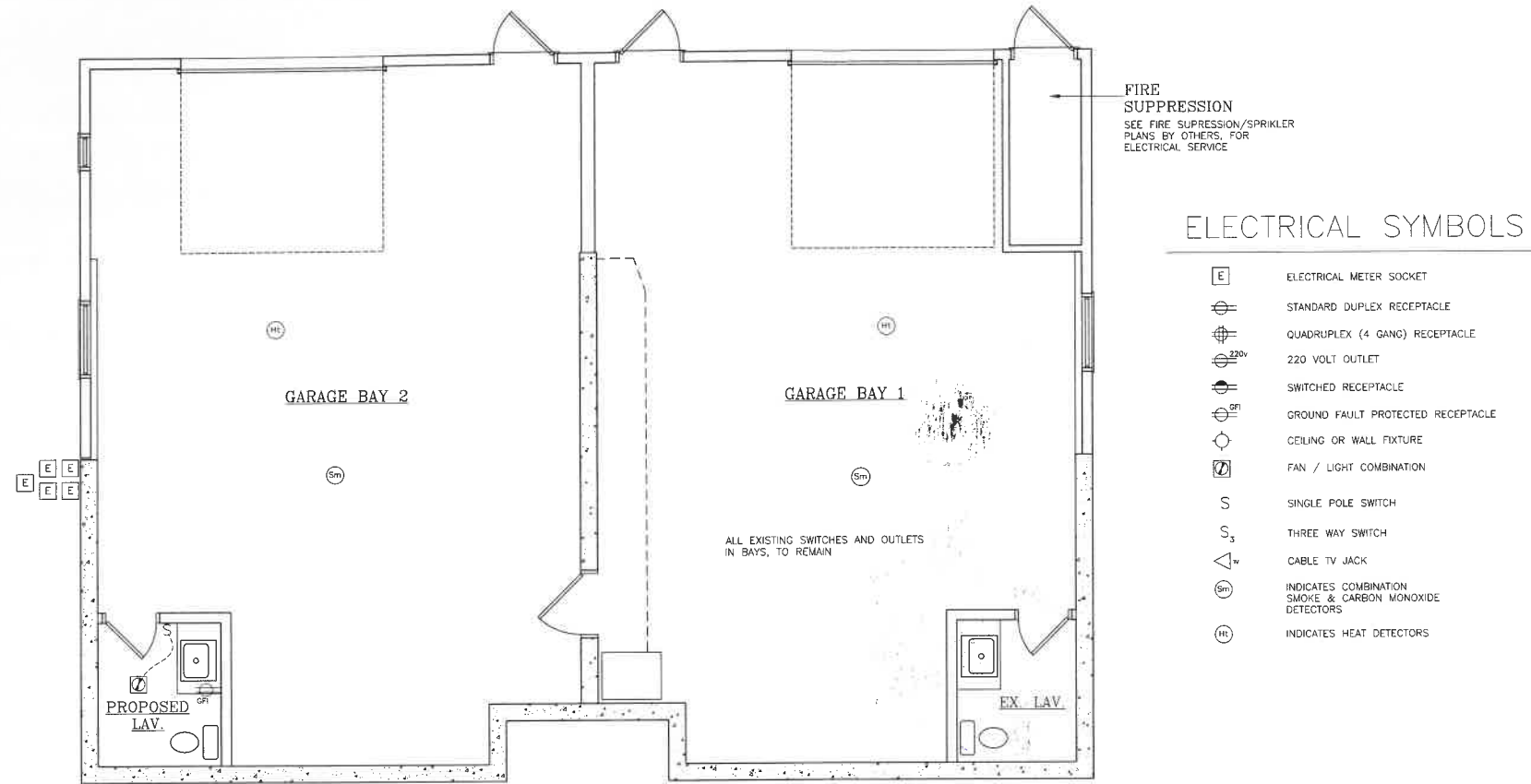
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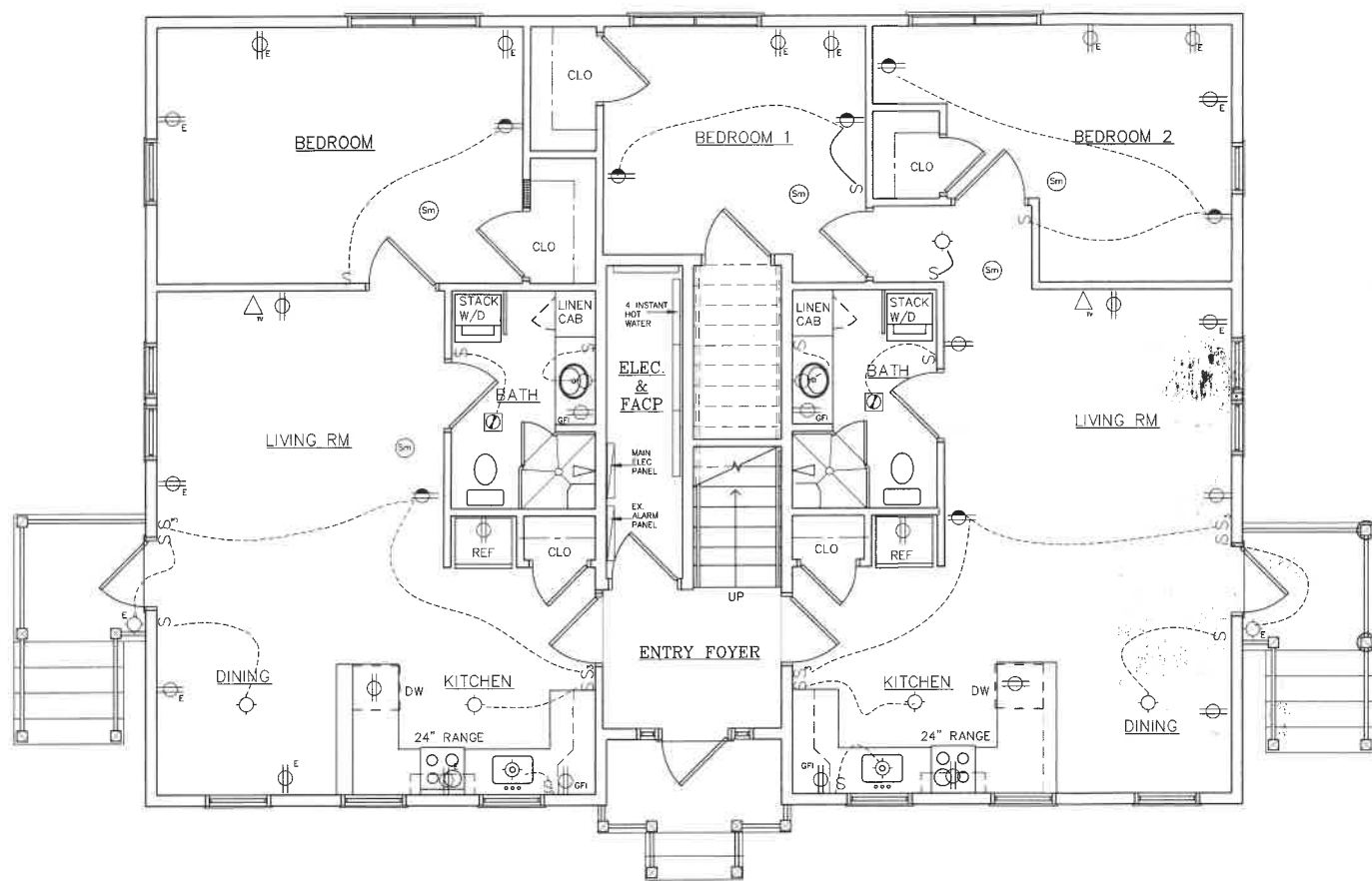
E1



ELECTRICAL NOTES

- ELECTRICAL CONTRACTOR (EC) SHALL PROVIDE A COMPLETE ELECTRICAL SERVICE FOR 150 AMP PANELS, FOR EACH APARTMENT PROVIDE CABLE TV & TELEPHONE SET IN 2" PVC CONDUIT IN UTILITY TRENCH.
- FIXTURE OUTLET AND SWITCH LOCATIONS ARE DIAGRAMMATIC ONLY- EC SHALL LAYOUT ALL FIXTURES, RECEPTACLES AND SWITCHING OPTIONS WITH OWNER PRIOR TO ROUGH INSTALLATION IN FIELD.
- ALL SMOKE DETECTORS SHALL BE HARDWIRED PHOTOELECTRIC TYPE AND INSTALLED PER TOWN OR FIRE DEPARTMENT REQUIREMENTS-REVIEW ALL LOCATIONS PRIOR TO INSTALLATION WITH PROPER TOWN AND FIRE OFFICIALS.
- ALL BEDROOMS TO BE WIRED WITH "3 WIRE" FOR HALF SWITCHED OUTLETS.
- COUNTER TOP OUTLETS TO BE MOUNTED AT 44"± FLOOR TO CENTER LINE OF OUTLET.
- PROVIDE MIN. 3 SEPARATE CIRCUITS AT KITCHEN-ISOLATE MICROWAVE OUTLET FORM COUNTERTOP OUTLETS.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS ELECTRICAL CODE.
- PROVIDE SQUARE "D" CIRCUIT BREAKERS ONLY-NO SUBSTITUTIONS.
- EC TO COORDINATE WITH HVAC SUBCONTRACTOR TO PROVIDE WIRING OF ALL THERMOSTATS, AC UNITS AND HEATING SYSTEMS.

PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



ELECTRICAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS

- ELECTRICAL METER-SOCKET
- EXISTING STANDARD DUPLEX RECEPTACLE TO REMAIN
- STANDARD DUPLEX RECEPTACLE
- QUADRUPLEX (4 GANG) RECEPTACLE
- 220 VOLT OUTLET
- SWITCHED RECEPTACLE
- GROUND FAULT PROTECTED RECEPTACLE
- CEILING OR WALL FIXTURE
- FAN / LIGHT COMBINATION
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- CABLE TV JACK
- INDICATES COMBINATION SMOKE & CARBON MONOXIDE DETECTORS
- INDICATES HEAT DETECTORS

NOTE: PROVIDE BLANKS FOR ALL EXISTING, UNUSED RECEPTACLE BOXES

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MULTI-FAMILY CONVERSION
FOR
POTTER AVENUE REALTY LLC
11 POTTER AVENUE
HYANNIS, MA.

TITLE:

ELECTRICAL
FIRST FLOOR
PLAN

DATE ISSUED:
10/18/2024

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PROJECT #:

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E2

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MULTI-FAMILY CONVERSION
FOR
POTTER AVENUE REALTY LLC
11 POTTER AVENUE
HYANNIS, MA.

TITLE:
PROPOSED
BASEMENT
LEVEL
FLOOR PLAN
&
PIER
LOCATIONS

DATE ISSUED:
10/18/2024

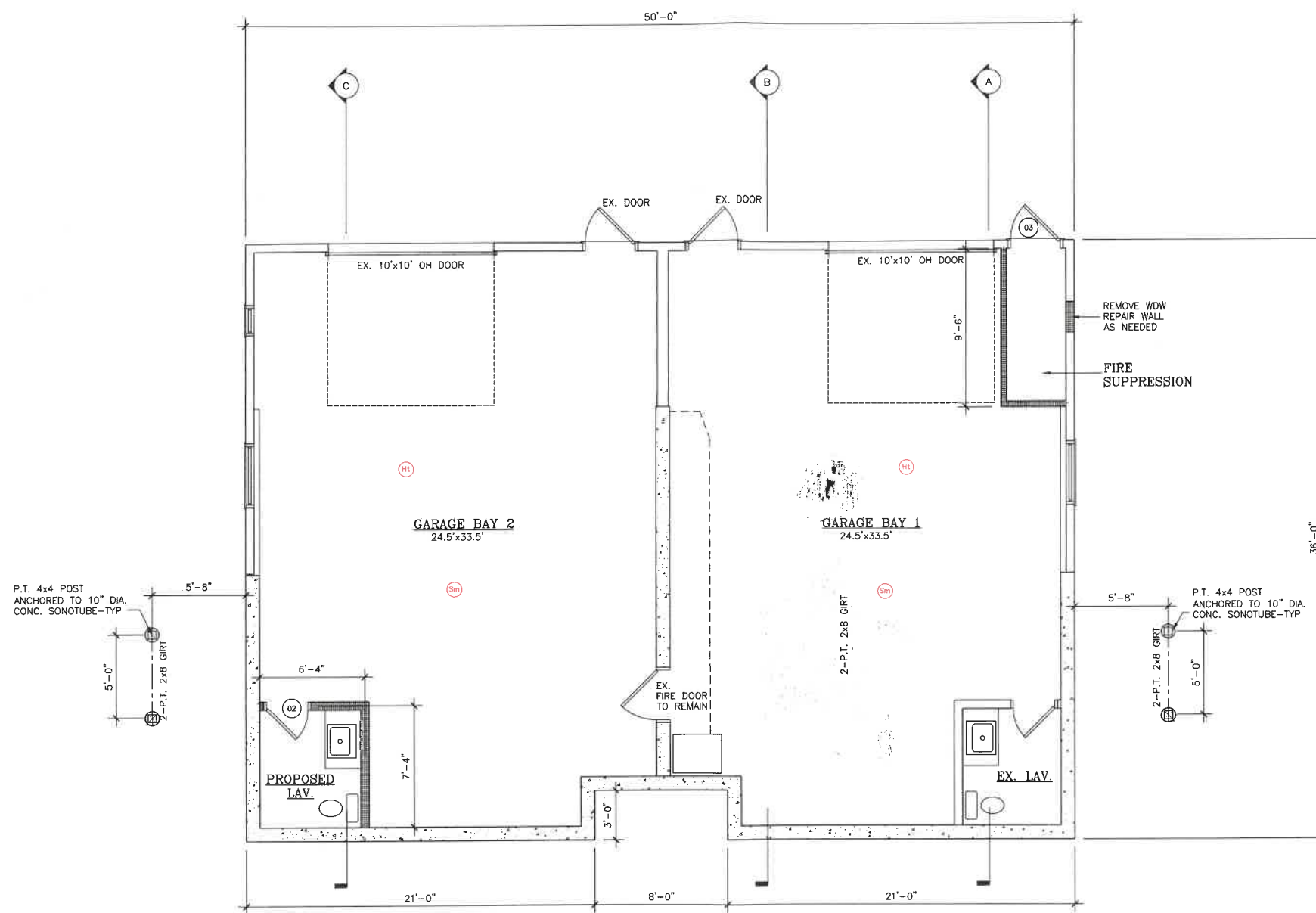
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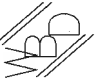
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MULTI-FAMILY CONVERSION
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11 POTTER AVENUE
HYANNIS, MA.

TITLE:

ELECTRICAL
SECOND FLOOR
PLAN

DATE ISSUED:
10/18/2024

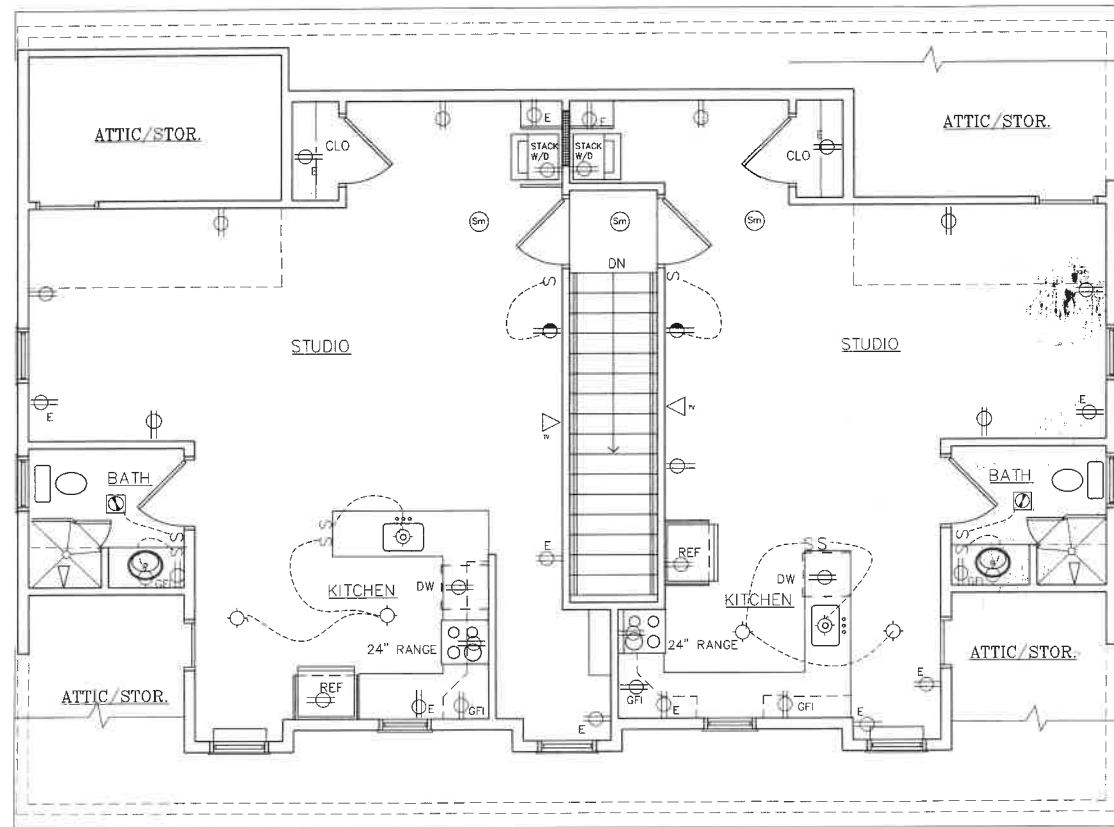
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PROJECT #:

DRAWING NO.:

E3

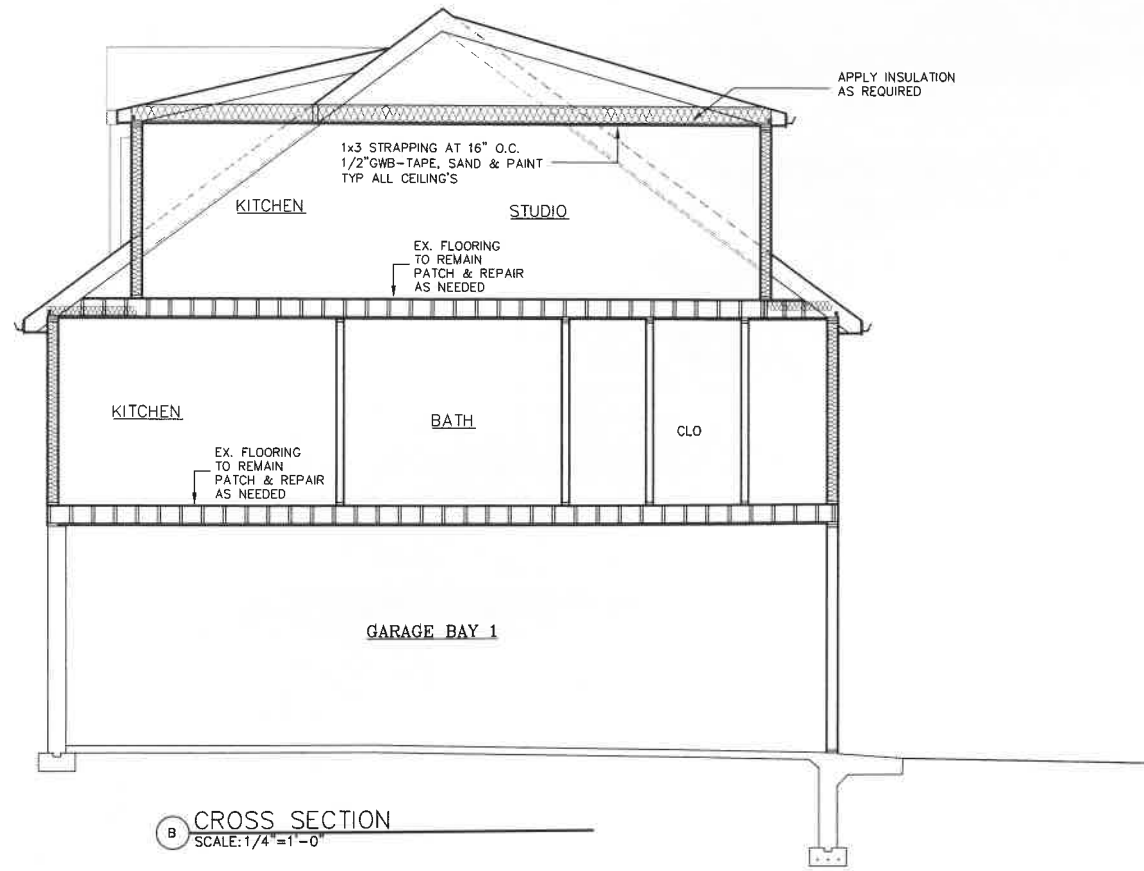


ELECTRICAL SYMBOLS

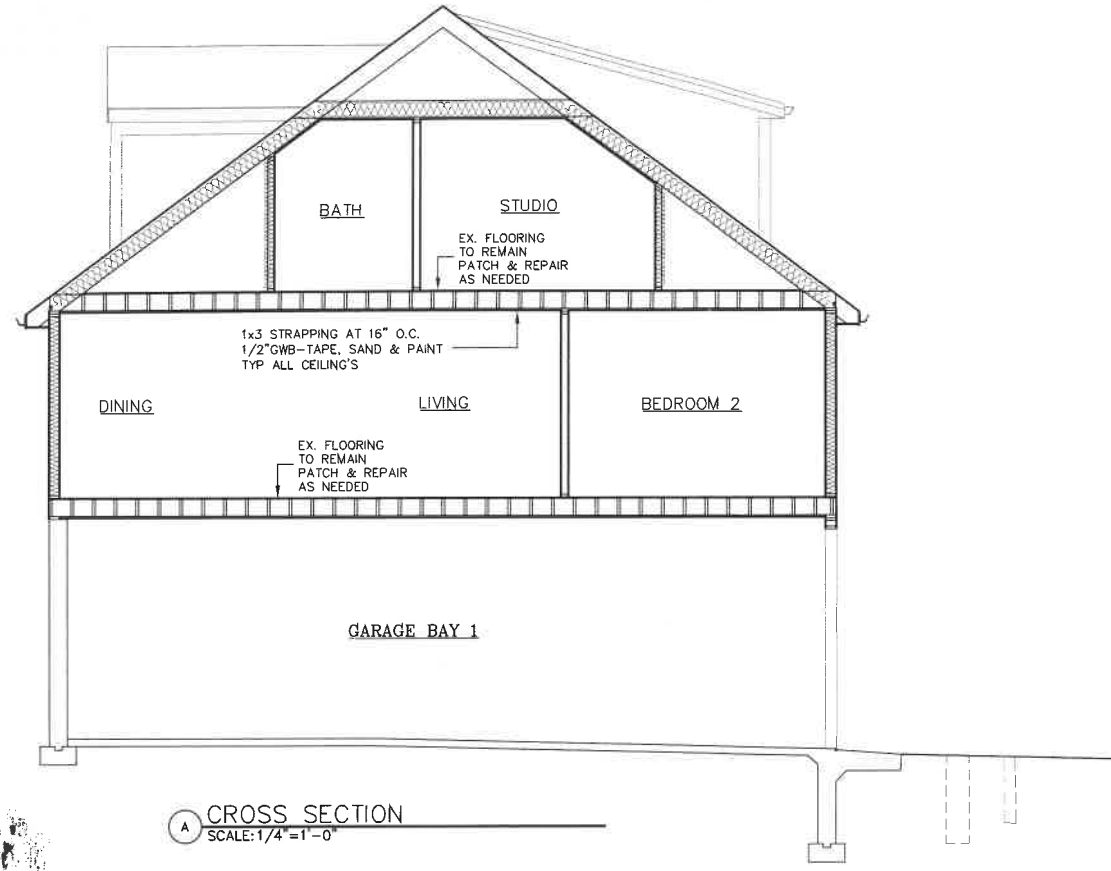
- ELECTRICAL METER SOCKET
- EXISTING STANDARD DUPLEX RECEPTACLE TO REMAIN
- STANDARD DUPLEX RECEPTACLE
- QUADRUPLX (4 GANG) RECEPTACLE
- 220 VOLT OUTLET
- SWITCHED RECEPTACLE
- GROUND FAULT PROTECTED RECEPTACLE
- CEILING OR WALL FIXTURE
- FAN / LIGHT COMBINATION
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- CABLE TV JACK
- INDICATES COMBINATION SMOKE & CARBON MONOXIDE DETECTORS
- INDICATES HEAT DETECTORS

NOTE: 1. PROVIDE BLANKS FOR ALL EXISTING, UNUSED RECEPTACLE BOXES
2. PROVIDE PHONE JACKS PER OWNER DIRECTION

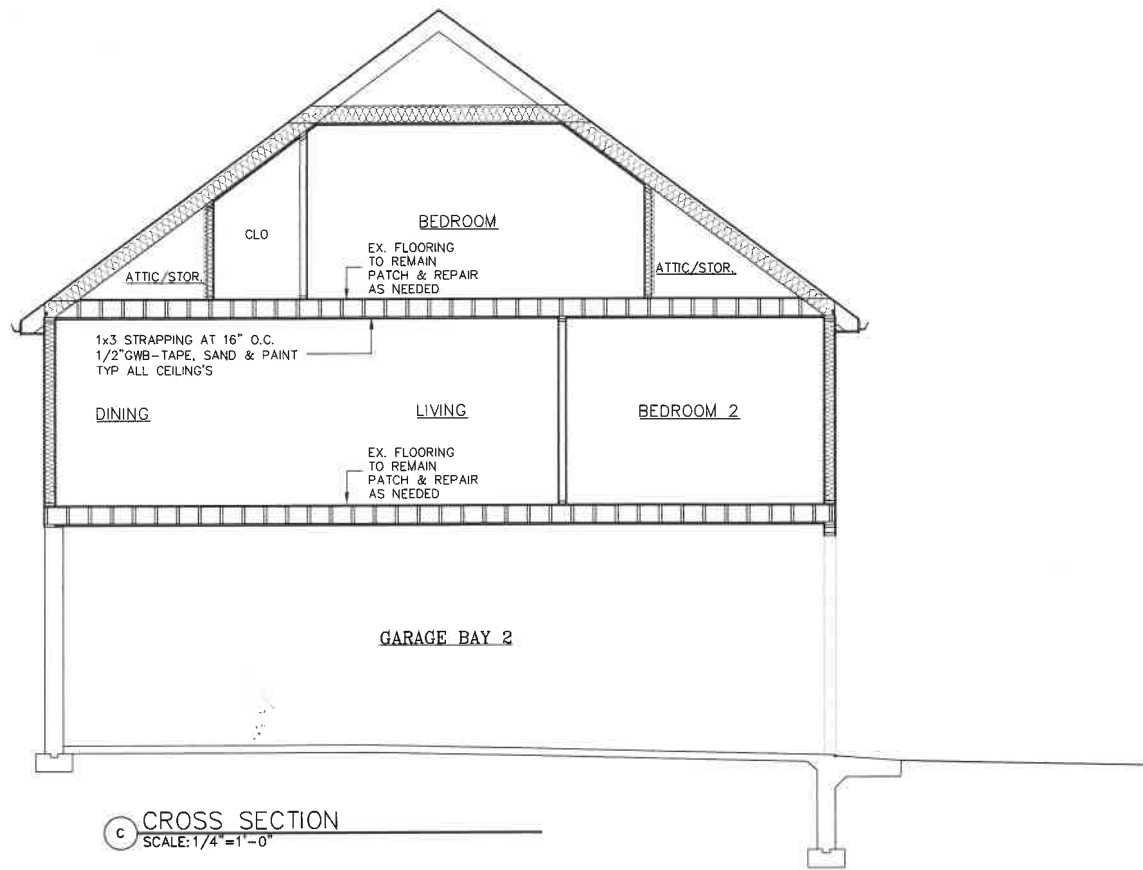
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



B CROSS SECTION
SCALE: 1/4" = 1'-0"



A CROSS SECTION
SCALE: 1/4" = 1'-0"



C CROSS SECTION
SCALE: 1/4" = 1'-0"

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MULTI-FAMILY CONVERSION
FOR
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11 POTTER AVENUE
HYANNIS, MA.

TITLE:

DECK
FRAMING
PLANS

DATE ISSUED:
10/18/2024

REVISIONS:

DRAWN BY:

PROJECT #:

DRAWING NO.:

A6